





Abode Estate Agents are delighted to offer for sale this most palatial double-fronted detached property, located within a private electric-gated development in the highly desirable village of Brailsford. Occupying an exclusive gated courtyard setting, this modern four-bedroom detached family home offers spacious and versatile accommodation ideal for contemporary family living.

The property briefly comprises a welcoming entrance hallway with ground floor WC, a spacious lounge with French doors opening onto the rear garden, a well-appointed kitchen with adjoining utility room, a separate dining room offering flexible use, and a front-facing study ideal for home working.

To the first floor are four well-proportioned bedrooms, including a generous principal bedroom with en-suite bathroom and fitted wardrobes, a second bedroom with en-suite shower room and built-in storage, together with two further bedrooms served by a family bathroom.

Externally, the home benefits from its attractive position within a private gated courtyard development, offering both privacy and a sought-after village setting.

An annual service charge of approximately £150 applies for the upkeep of the estate.



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SALES & LETTINGS

## Hallway

Entered via a double glazed front entrance door with adjoining double glazed window panels, the welcoming hallway features a central heating radiator with thermostat control and a staircase rising to the first floor landing. There is also a useful under-stairs storage cupboard. Internal doors lead to:

## W.C.

Fitted with a low-level WC and pedestal wash hand basin. Double glazed frosted window to the side elevation, central heating radiator and housing for the electrical consumer unit.

## Lounge

A bright and spacious reception room featuring a double glazed window to the front elevation and double glazed French doors with matching side panels opening onto the rear garden. The room benefits from two central heating radiators and a focal point gas fire set within a timber Adam-style surround.

## Utility Room

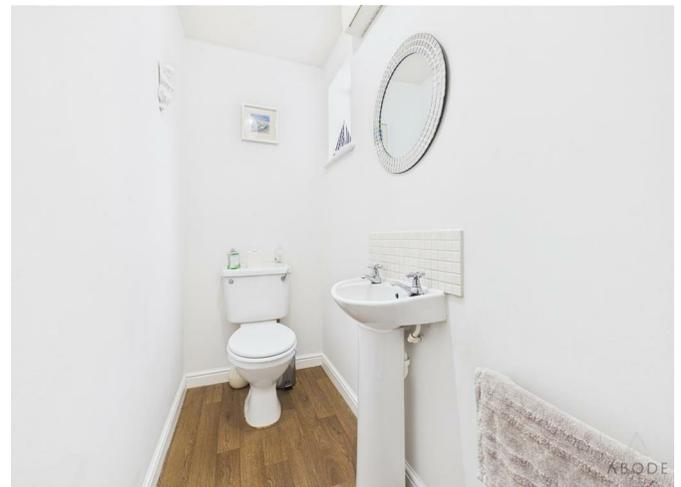
Accessed via a double glazed frosted side entrance door. Fitted with base level storage cupboards and wood-block effect roll-top work surfaces with complementary tiled splashbacks. Stainless steel sink and drainer, plumbing and space for freestanding under-counter appliances, central heating boiler, carbon monoxide detector, extractor fan and central heating radiator.



## Kitchen

Well-appointed kitchen with two double glazed windows overlooking the rear garden and an additional double glazed window to the side elevation. Fitted with a range of matching base and eye-level cupboards and drawers with wood-block effect roll-top work surfaces and complementary tiled splashbacks. Integrated appliances include a 1½ stainless steel sink with mixer tap, oven and grill, and a four-ring gas hob with extractor hood above. There is further space and plumbing for freestanding under-counter appliances, a central heating radiator, telephone point and TV aerial point. Internal doors lead to:







### Dining Room

Featuring a double glazed window to the rear elevation and a central heating radiator. Currently utilised as a dining room, this versatile space could equally serve as a playroom or offers potential for opening into the kitchen (subject to the necessary permissions).

### Study

With a double glazed window to the front elevation, central heating radiator and TV aerial point. Ideal as a home office.

### Bedroom One

Spacious principal bedroom with two double glazed windows to the rear elevation, central heating radiator and a range of built-in double wardrobes with hanging rails and shelving. Internal door leads to:

### En-suite Bathroom

Double glazed frosted window to the rear elevation. Fitted with a four-piece suite comprising low-level WC, pedestal wash hand basin, panelled bath and a separate shower cubicle with folding glass screen. Complementary tiling, central heating radiator and extractor fan.



### Bedroom Two

Double glazed window to the rear elevation, central heating radiator and built-in double wardrobe with hanging rail and shelving. Internal door leads to:

### En-suite Shower Room

Double glazed frosted window to the rear elevation. Three-piece suite comprising low-level WC, pedestal wash hand basin and shower cubicle with folding glass screen. Central heating radiator and extractor fan.

### Bedroom Three

Two double glazed windows to the front elevation and central heating radiator.

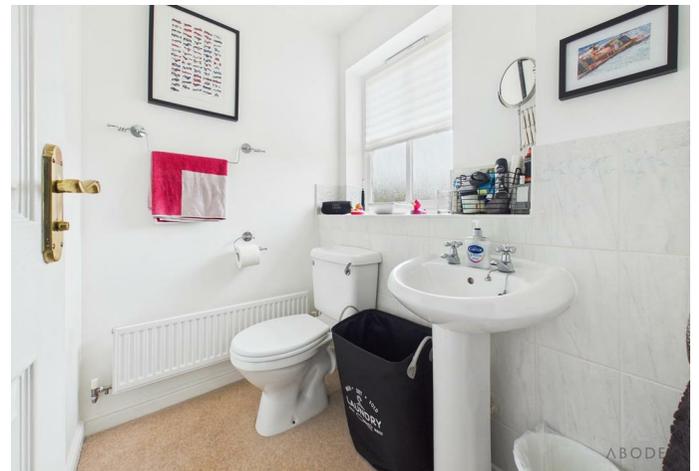
### Bedroom Four

Two double glazed windows to the front elevation and central heating radiator.

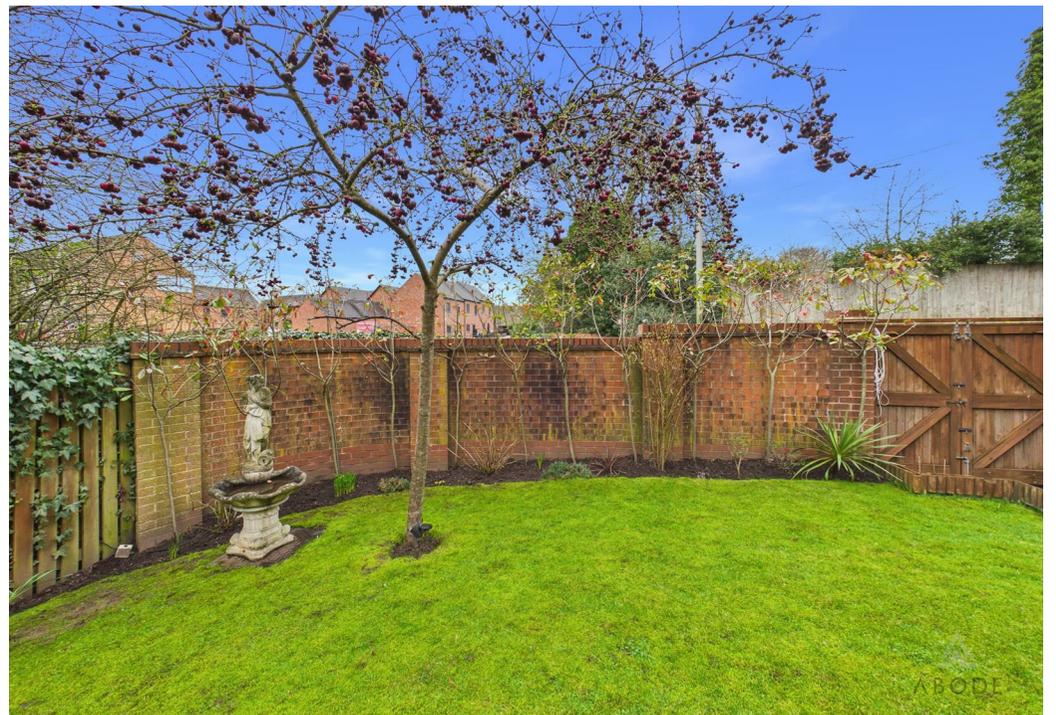


### Family Bathroom

Double glazed frosted window to the side elevation. Fitted with a three-piece suite comprising low-level WC, pedestal wash hand basin and panelled bath with complementary tiled surround. Central heating radiator and extractor fan.











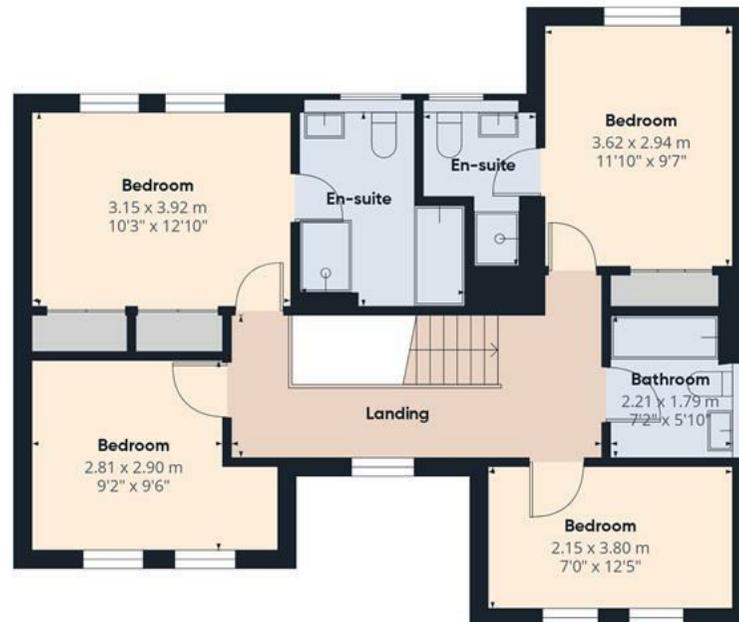


Floor 0 Building 1

Approximate total area<sup>(1)</sup>

139.6 m<sup>2</sup>

1504 ft<sup>2</sup>



Floor 1 Building 1

(1) Excluding balconies and terraces

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

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## Double Garage

5.00 x 5.35 m  
16'4" x 17'6"

### Approximate total area<sup>(1)</sup>

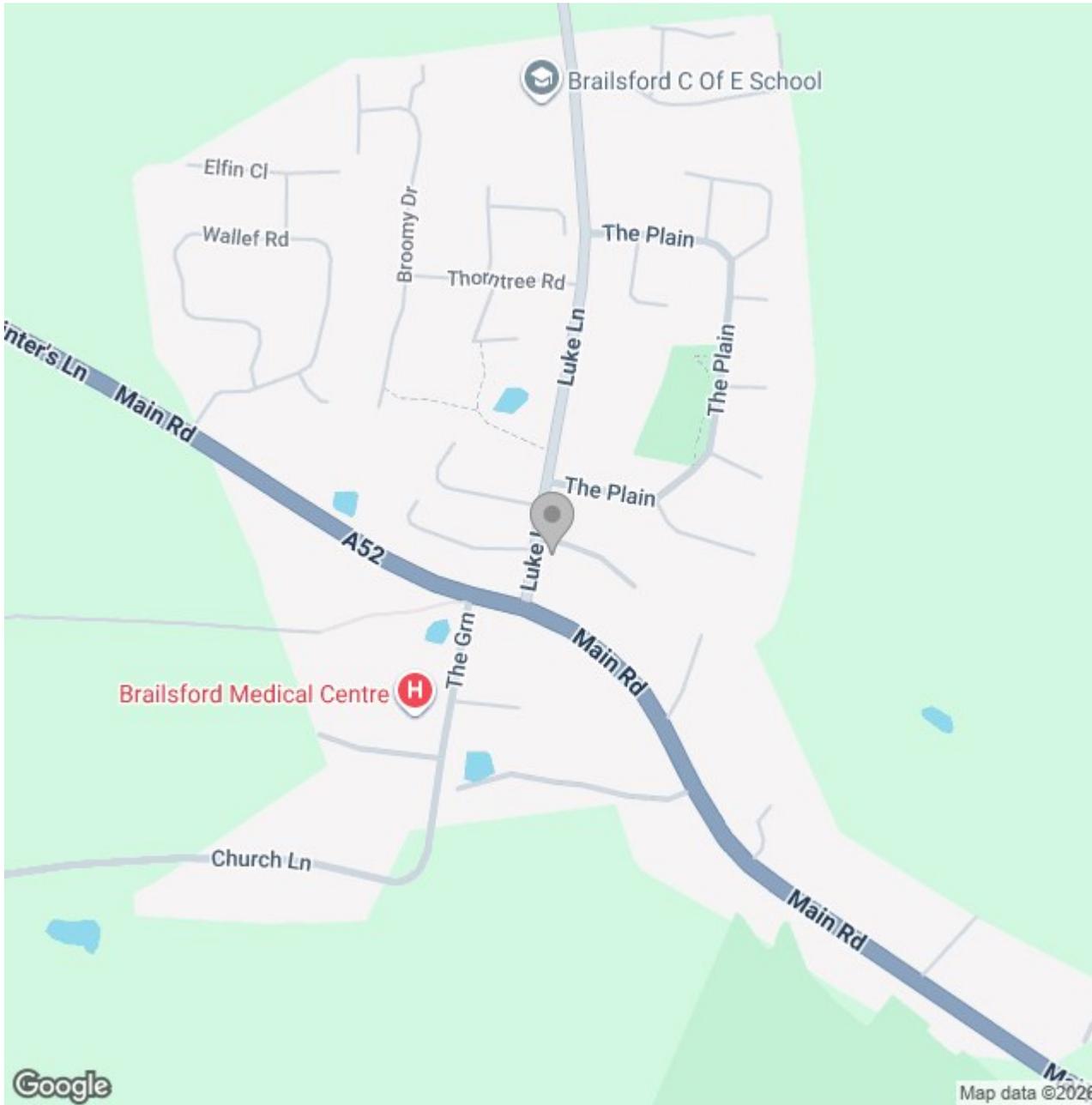
26.9 m<sup>2</sup>  
290 ft<sup>2</sup>

(1) Excluding balconies and terraces

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

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### Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	